



27 CARDIFF STREET, ABERDARE, CF44 7DP

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## Glynhafod Street

Cwmaman, Aberdare, CF44 6LD

£144,995



Located on Glynhafod Street in the charming village of Cwmaman, Aberdare, this immaculate end-terrace house offers a delightful blend of comfort and convenience. With three spacious bedrooms, this property is perfect for families or those seeking extra room for guests or a home office. The well-appointed reception room provides a welcoming space for relaxation and entertaining, while the modern bathroom ensures all your needs are met.

One of the standout features of this home is its sun-filled garden, which invites you to enjoy the outdoors in a tranquil setting. The garden is ideal for summer barbecues or simply unwinding with a good book. Additionally, the property boasts off-road parking for vehicles, a valuable asset in today's busy world.

The location is particularly advantageous, with close links to local schools, transport options, and shops, making daily life both easy and enjoyable. Furthermore, the incredible views surrounding the property add to its appeal, providing a picturesque backdrop to your everyday living.

This spacious three-bedroom home on Glynhafod Street is a rare find, combining modern living with the charm of a friendly community. Whether you are looking to settle down or invest, this property is sure to impress. Don't miss the opportunity to make this lovely house your new home.



### Entrance Porch

UPVC front door.

### Living Room 20'09 x 14'11 (6.32m x 4.55m )

UPVC double glazed window to front and rear. 2 Radiators. Gas fire.

### Kitchen Diner 11'08 x 9'00 (3.56m x 2.74m)

UPVC double glazed window to side. Gas hob and integrated oven. Integrated fridge/freezer. Provisions for washing machine.

### Family Bathroom 9'04 x 5'06 (2.84m x 1.68m )

UPVC double glazed window to rear. Walk-in shower. Vanity handwash basin. WC. Storage.

### Landing

### Bedroom 1 11'11 x 8'08 (3.63m x 2.64m)

UPVC double glazed window to rear. Radiator. Fitted wardrobes.

### Bedroom 2 11'11 x 7'07 (3.63m x 2.31m)

UPVC double glazed window to front. Radiator.

### Bedroom 3 9'00 x 7'00 (2.74m x 2.13m)

UPVC double glazed window to front. Radiator. Attic trap.

### Outside

Large Garage with power and light and electric roller shutter, approximately measuring 19'07 x 16'01. Patio to artificial grass lawn. side access.

### Disclaimer

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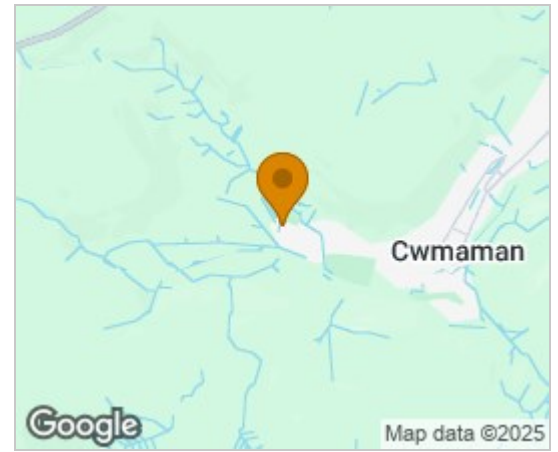
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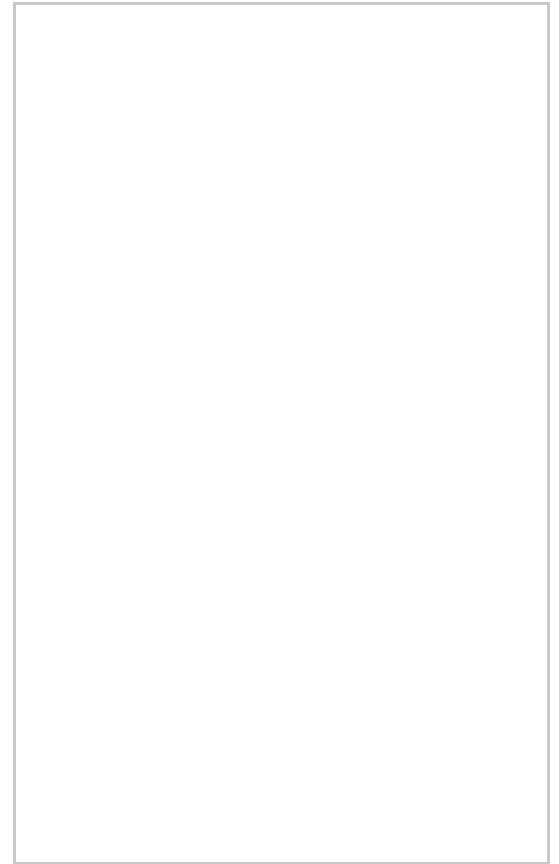
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### Area Map



### Floor Plans



### Energy Efficiency Graph

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

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